

Design and Siting Guidelines.

VERSION 3 – DECEMBER 2025

Wollert.
Rise

Purpose of the guidelines.

To achieve excellence in design and construction at Wollert Rise, as well as protect the interest of residents, specific safeguards have been implemented by Dahua and Core Projects.

The Design and Siting Guidelines serve to offer reassurance to residents expecting a high quality of built form, and encourage consistency between neighbouring dwellings. These guidelines may be amended from time to time at the developer's discretion to reflect changes in design and building trends and/or amendments to legislation affecting building approvals. Please note that the Design and Siting Guidelines are to be read in conjunction with the Plan of Subdivision restrictions and Memorandum of Common Provisions. The Design and Siting Guidelines may be subject to endorsement by Council and could subsequently require amendment.

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A world of your own.

Reside with pride in the most picturesque of settings. Only at Wollert Rise can you live alongside a native landscape so beautiful it's being preserved, while still staying close to everyday conveniences.

Wollert Rise is just 30kms from Melbourne's CBD in the popular northern corridor. Its 57+ hectares of former farmland now presents as neighbourhoods with varying lot sizes — suiting a wide range of budgets and lifestyles.

A better work life balance

Wollert Rise borders what is known as a green wedge. A designation given by the state and local governments, it's a conservation area of natural flora that Wollert Rise residents can enjoy at their leisure. Add to that a long line of protected River Red Gums and you can begin to see why Wollert Rise is a rare find.

In an established, age-old landscape

Alongside an easy commute by train or via a range of direct road links, Wollert Rise offers access to retail shopping centres, schools, restaurants, entertainment and everything else you could ever want.

Most, if not all, are within walking distance.

Yet despite this convenient location, you'll live on streets mostly used by locals, distanced from major thoroughfares. Coming home here is coming home to idyllic peace and quiet.

For today's and future generations

To add to the already stunning natural aesthetic, all architectural designs at Wollert Rise will be one with the environment. Colours, textures and materials will take inspiration from the surrounds, mirroring its natural beauty.

Like all projects, we remain staunchly committed to creating a sustainable community. This is why these Design and Siting Guidelines have been produced — to ensure that the Wollert Rise dream is realised by families today and retained for future generations.



Live how
you like
in a home
you love.





Artist's Impression

1

Design approval.

The Design Review Panel (DRP) will assess each design and either provide a notice of approval, or specify how the proposed design conflicts with the guidelines.

The DRP will make suggestions to assist and ensure design compliance. The DRP will use reasonable endeavours to assess designs in the shortest possible time and generally will provide a response within 10 business days of receipt of a fully completed proposed design.

Wollert Rise Design and Siting Guidelines

Submissions should include:

- A siting plan of the one and only proposed house on the lot with dimensions and setbacks from all boundaries and proposed outbuildings, fencing and driveway location;
- Floor plans that show the layout of the house indicating all rooms, windows, external doors, external fixtures and nominated floor levels; and
- Full elevations indicating wall heights and all external finishes as well as colours, including garage door type.

Once the DRP approves a design, you should then obtain the approval of the building plans from the local Council or relevant Building Surveyor and/or any other relevant authorities required by the authority approval process.

2

Construction of your home.

Construction of the house must start within 12 months after settlement. It must also be completed within 12 months of commencing. Any damage to the footpath, kerb, cross-over, nature strips (including street trees) or adjoining property during construction must be rectified within this time frame.

3

Solar access & energy efficiency.

Correct orientation of homes is environmentally responsible, and can reduce ongoing energy costs while increasing your enjoyment. All homes should comply with Victoria's energy rating requirements as currently legislated (and an Energy Rating Certificate will be required prior to obtaining a Building Permit).

Note:

For information and tips regarding energy efficiency visit Sustainability Victoria's website: sustainability.vic.gov.au

Requirements:

- Where possible, maximise the northern aspect of living areas and private open spaces (courtyards, verandas, etc.) with bedrooms and service spaces located to the south.
- All homes should incorporate environmentally sustainable design initiatives such as (but not limited to) double glazed windows or glass doors, water tanks, eave overhangs, passive air-conditioning systems, sustainable building materials and solar panels. Any initiatives should be included in submission requirements (refer to Section 14). Rebates may be available.

Check at: www.yourenergysavings.gov.au

Dwelling design.

Designs reflecting an appropriate contemporary, high quality dwelling will result in establishing the desired neighbourhood character for Wollert Rise.

Requirements:

- Front elevations must be designed to include windows and other features (such as porches, porticos, verandahs, projections, varying roof form and materials) which sufficiently address the street frontage. Large areas of blank or non-articulated walls will not be permitted.
- Mock period style features will not be permitted.
- Sliding windows are not permitted to front elevations or to elevations facing and visible to a road or reserve.
- The main entry should be located on the front elevation, facing the primary frontage.
- All pitched roofs must include as a minimum a 300mm eave (450mm eave is encouraged) to front façade and must include a minimum 2 metre return to the side elevation (excluding parapet walls and walls on boundaries). Dwellings on corner lots must include eaves to both street elevations.
- Hipped roofs must be pitched at 20°–30°.
- Alternative roof forms such as skillion and flat roofs or gable features will be assessed on architectural merit in context of the proposed dwelling.
- All external materials and colours must suit the character of the neighbourhood and be submitted to the DRP for approval.



Image courtesy of Porter Davis



Image courtesy of Porter Davis



Image courtesy of Boutique Homes



Non-articulated front façades will not be approved

Dwelling size.

- For allotments less than 300m² there is no minimum dwelling size.
- Lots between 300m² and 450m² must have a minimum dwelling area (excluding garage, porticos, verandas) of 120m².
- Lots over 450m² must have a minimum dwelling area of 150m².
- Lot 101–106 (inclusive), Lot 115–124 (inclusive), Lot 702, 707, 711, 720, 723, 726, 728, 729 & 732 (inclusive) are required to construct a double storey dwelling on the lot.



Setbacks.

Lots under 300m² are subject to the Small Lot Housing Code (SLHC) provided the proposed design complies with the SLHC a planning permit is not required.

A building must be setback from a street alignment and side and rear boundaries in accordance with part 4 of the building regulations and rescode, except as specified opposite;

- The front wall of a building must not be setback more than 5.0 metres unless the lot is a corner lot or of irregular shape. In these cases an increased setback may be allowable subject to DRP approval.
- Garages must be setback behind the front wall of the dwelling by at least 500mm and at least 5.0 metres from the front boundary.
- Only one house is permitted on each lot and lots may not be further subdivided unless otherwise provided on the plan.

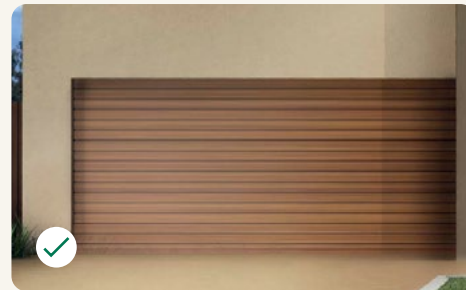
4

Garage design.

The location and treatment of garages and garage doors should contribute positively to both the dwelling design and the streetscape design.

Requirements:

- a. All lots should provide vehicle accommodation in the form of an enclosed garage.
- b. Garages should not dominate the façade and must have a panel lift/sectional door to the street frontage.
- c. Double garage door width must not exceed 6 metres.
- d. Triple garage may be allowed on bigger lots with articulation.
- e. Lots less than 10.5 metres wide must incorporate a single garage only.
- f. Garages should be set back behind the front wall of the dwelling by at least 500mm and at least 5.0 metres from the front boundary.
- g. Garages located on the side street elevation of a corner lot will be considered on an individual basis by the DRP. Proposals should comply with applicable setback and car parking requirements and be a minimum of 500mm behind dwelling line.
- h. Only one garage and crossover is permitted per lot.
- i. On corner allotments, garages must be located away from the road intersection.
- j. On lots with side boundaries onto reserves, garages must be located on the opposite side of the reserve.



Timber look sectional/panel lift



Colorbond® sectional/panel lift

5

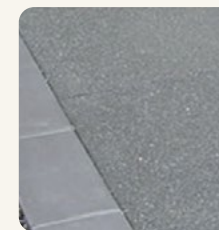
Driveways.

Driveways should be constructed to blend with proposed dwelling façade colours. These should be in subdued and natural tones consistent with the DRP approved colour palette in this document.

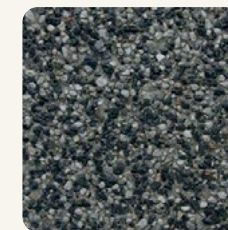
Requirements:

- a. The driveway may match the width of the garage and should taper as it approaches the front boundary so that it generally matches the width of the crossover. Excessive concreting in the front yard will not be permitted.
- b. Other permitted finishes for driveways are:
 - Exposed aggregate
 - Pavers
 - Stamped or stencilled surfacing
 - Coloured concrete consistent with streetscape pavement.
- c. Driveways should have a matte finish. (Shiny or reflective surfaces are not permitted.)
- d. Only one driveway is permitted per lot.
- e. Driveway should be completed within 30 days of receiving Certificate of Occupancy.
- f. The driveway must be offset a minimum of 500mm from the nearest side boundary.

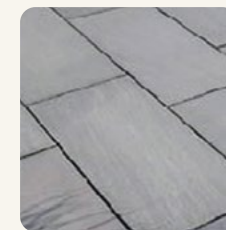
DRP approved driveway finishes:



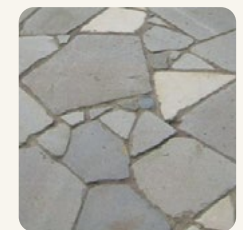
Bluestone pavers



Exposed aggregate



Coloured concrete



'Crazy stone' pavers

Corner lots.

It is essential that homes on corner lots are designed to address their prominent position within the streetscape and contribute to the creation of an attractive, safe living environment.

Requirements:

- Side elevations facing a road or reserve should include sufficient detailing that matches and complements the design of the front elevation ('corner treatment'). This should wrap around to the secondary street façade for at least 2 metres or to the point where the side fence returns to the dwelling.
- Windows of at least 1.5m² must remain visible at each level of the home, forward of the side boundary fence on the secondary street or reserve frontage.
- Refer to fencing section in this document for specific requirements regarding corner lot fencing.



Wrap-around feature



Windows should be included within the corner treatment

Façade variation.

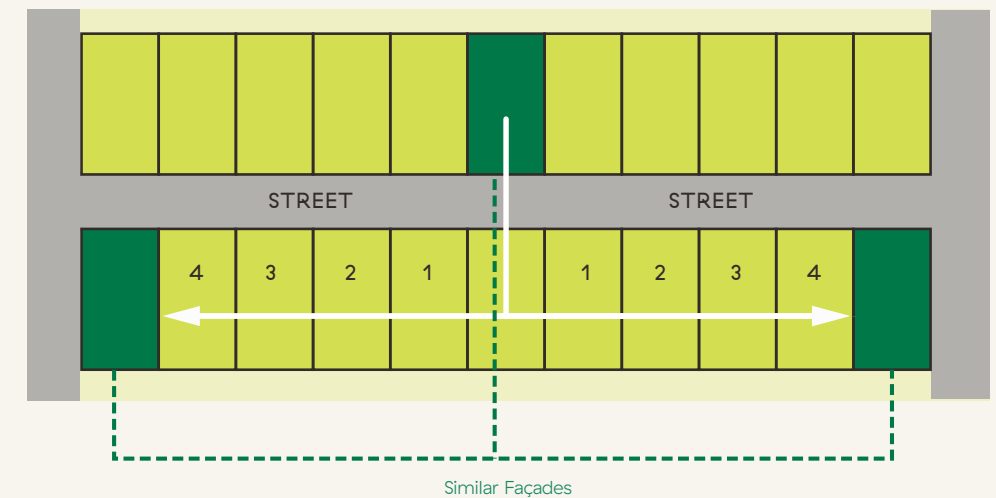
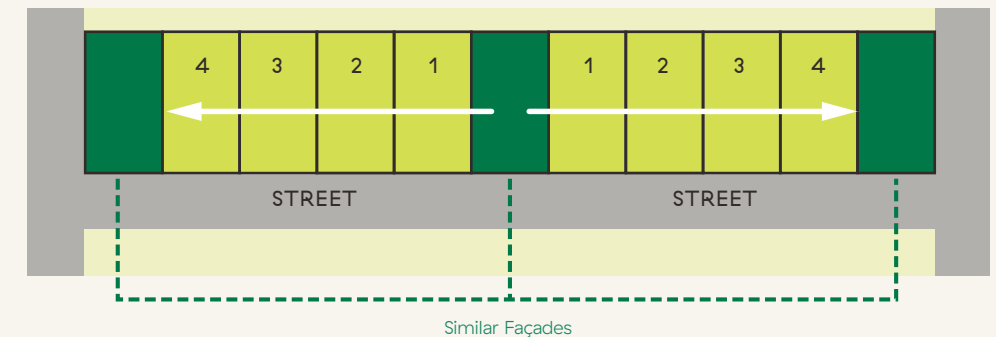
Variety in façade designs contributes to the visual appeal of a community and protects the investment of its residents.

Requirements:

Two dwellings of the same front façade must be separated by a minimum of 4 house lots in any direction, as determined by the DRP. See below diagrams for examples of acceptable configurations).

Note:

This provision does not apply to townhouse or medium density developments.



Building colours & materials.

An important element in maintaining a high quality of residential neighbourhood character is the considered use of external building materials, colours and other related finishes. This ensures durability and will maintain Wollert Rise's appeal for many years to come.

Requirements:

- a. A minimum of two render colours or materials should be used on nominated façades. No single material can comprise greater than 70% of the façade. This applies to all front elevations and elevations which face a street or reserve.
- b. Approved materials are:
 - Face brickwork
 - Rendered lightweight cladding or masonry
 - Weatherboards/cement composite materials (such as scyon cladding) in contemporary clean line styles. If used, these materials cannot comprise more than 50% of an elevation
 - Timber cladding
 - Selective use of stone or tile cladding.
- c. Roof material may be non-reflective paint finished metal corrugated roofing. Masonry, slate or terracotta tiles are also permitted.
- d. Roof should be a neutral, subdued colour.
- e. Garage door profile and colour should complement the design and colour scheme of the dwelling.
- f. External colours should be natural, earthy tones which will blend with the natural landscape. A highlight colour may be permitted to a small area of the façade. Colours should be generally consistent with or equivalent to those shown in example colour palettes on page 17.
- g. The use of heritage colours or bright colours (such as Dulux G25 Olive or Dulux R54 Raspberry) is not permitted.
- h. External windows and doors should avoid reflective, frosted, coloured or patterned film on glass unless approved by the DRP.
- i. Security shutters, sunblinds, shade sails or canvas awnings are not permitted where visible from public areas.
- j. Gutters & downpipes are to match the roof colour.

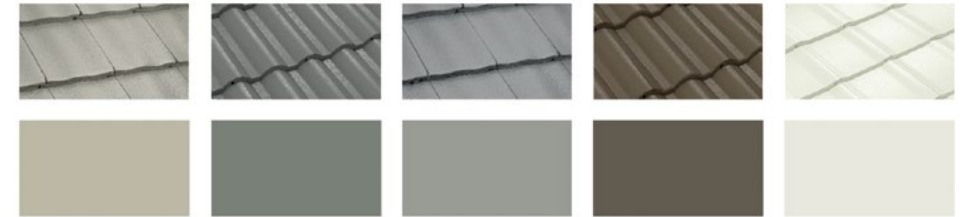
R54 Raspberry

G25 Olive

Example of acceptable colour & material palettes:

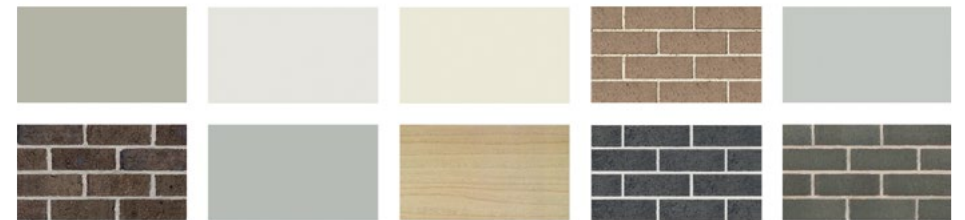
Roof

Tiles or Colorbond®



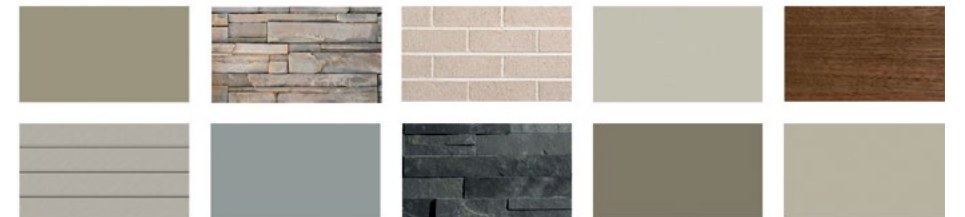
Primary (60%–70%)

Should generally comprise 60%–70% of a street elevation



Secondary (30%–40%)

Should generally comprise 30%–40% of a street elevation



Highlight (10% if used)



Fencing.

Fencing doesn't just provide a boundary, it contributes to the overall streetscape. For this reason, fencing should be completed prior to occupancy, using these guidelines for both side and rear boundary fencing, as well as corner allotments.

Requirements:

- a. Side and rear boundary fencing should be constructed from capped timber palings with exposed posts.
- b. Side and rear boundary fencing should be 1.8 metres in height, constructed using 125mm x 75mm posts with 2.4 metre post spacing.
- c. Side boundary fencing should stop at least 0.5 metre behind the front façade. Fencing is not permitted along the side boundaries in the front yard.
- d. Side boundary fencing should return at 90°, and abut the dwelling or garage at least 0.5 metres behind the front façade (return fence). These fences, including any gates, should be constructed from capped timber palings with exposed posts to match the boundary fencing, or from a complementary timber style such as merbau slats. Return fences/gates should be set back to allow access to meter boxes.
- e. Corner lots: Fencing along a side boundary which abuts a road must not extend for more than 65% of the total length of the lot measured from the rear boundary.
- f. Corner lots: Fencing along a side boundary which abuts a road should be painted or stained. Colour chosen must be from the DRP approved colour palette opposite.
- g. Fencing treatments on lots with direct open space or reserve interface on the side boundary should be the same as corner lots.
- h. Fence should be completed prior to occupancy.



Capped timber palings with exposed post



Note:

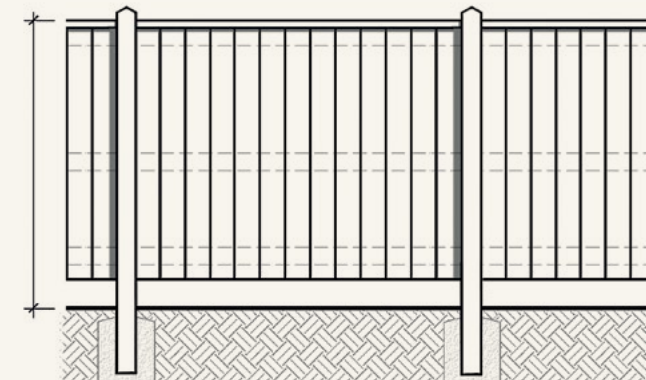
Hedges may be planted to define the property boundaries.

Consistent style and positioning of fencing throughout a community forms a common link which enables the streetscape to interact as a whole and emphasises individual characteristics of each dwelling.

DRP approved corner fencing treatments:



Side & rear boundary fencing elevation:



100mm lapped palings

Front landscaping.

These guidelines ensure all private gardens are well designed to create attractive visual spaces between lots and within each house. Plants that present well in all seasons are encouraged at Wollert Rise.

Requirements:

- a. Front garden landscaping should be completed to an acceptable standard within 120 days of receiving your Certificate of Occupancy.
- b. Letterboxes should match and complement the dwelling designs. A robust structure of an appropriate height (such as a rendered pillar style) located close to the front boundary is encouraged. Letter boxes should clearly display the street number.
- c. All areas forward of the return fencing should be landscaped.
- d. No more than 40% of the landscaped area (including driveways) is to comprise of hard surfaces such as paving, except with the approval of the DRP. Permeable surface treatments such as pebbles, stepping pavers in a gravel bed, crushed rock or lawn are strongly encouraged.
- e. Plants should be within the 400mm landscaping strip between the driveway and closest side boundary.
- f. All garden bed planting should be metres within mulch and densely planted to ensure good coverage of growth. A minimum of three plants per square metre is required.
- g. A minimum of two deep-rooted trees for each front garden is required.
- h. A front garden consisting of different hierarchy, texture and colours is strongly encouraged.
- i. Species selection should avoid vegetation referred to in 'Weeds of National Significance' www.environment.gov.au and 'Invasive Plant Classifications (Vic)' www.agriculture.vic.gov.au.

DRP approved letterbox examples:



DRP approved front garden examples:



14

Services & outbuildings.

The appropriate integration of service items is an important factor to consider, not only in relation to function but also the potential impact on the streetscape and neighbouring properties.

Requirements:

- a. All ancillary items and services including, but not limited to, water tanks, air conditioners, clotheslines, bins, satellite dishes, antennas and service meters should be sited unobtrusively and away from public view. Details should be indicated on house plans as part of the application for DRP approval.
- b. All external plumbing including spa pumps/motors are to be concealed from public view. Downpipes and gutters are exempt from this requirement. Gutter and downpipe treatment should complement the dwelling colour scheme.
- c. Air-conditioning units are to be located below the roof ridge line and towards the rear of the property to minimise visual impact. Their colouring should blend with the adjoining wall or roof colour. Units should be low profile types and where appropriate, fitted with sound baffles.
- d. Roof fixtures are not permitted on the front elevation. Solar panels may be flat or integrated with the roof pitch of north facing roofs on front elevations.
- e. Internal window furnishings should be fitted within three months of occupancy. Sheets, blankets or similar materials will not be permitted.
- f. Security shutters, sunblinds, shade sails or canvas awnings are not permitted where visible from public areas.
- g. Sheds and outbuildings should be sited and located so as to minimise visibility and potential impact on neighbouring properties and the streetscape. The DRP will assess these structures on their merits. However, structures which are deemed to be of an excessive size will not be approved.
- h. The size and design of ancillary structures, such as pergolas and verandahs, should be unobtrusive and consistent with/or complementary to the dwelling design.
- i. No signs, including 'For Sale' boards may be erected other than a 'Home for Sale' sign which may be put up after completion of construction of a dwelling.

15

Submission requirements.

Please complete the following and send to the Design Review Panel with your submission documents for approval.

Allotment details

Lot number: _____ Street: _____

Owner details

Name: _____

Mailing address: _____

Contact

Phone number: _____

Email: _____

Builder details

Company: _____

Contact person: _____

Mailing address: _____

Phone number: _____

Email: _____

Correspondence

To be sent to **owner** or **builder** (please circle)

Attachment checklist: (please tick)

- ☐ Site plan
- ☐ Floor plan/s
- ☐ Elevations
- ☐ External colours & materials

For enquiries, please contact the DRP on 03 9948 9900

SUBMIT APPLICATIONS TO: wollertrise@finnis.com.au

All design review applications are to be submitted by email only.

These guidelines shall cease to burden any lot on the plan of subdivision 5 years from the date of settlement of your land.

Please note that once a design has been submitted and approved by the Design Assessment Panel, any further amendments to the approved design will require the approval of the Design Assessment Panel. The party requesting approval of the amendment is responsible for all associated costs of the Design Assessment Panel reviewing and approving the amended design.



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